

RESOLUTION OF BOSTON REDEVELOPMENT AUTHORITY
RE: PROPOSED PRICES FOR DISPOSITION PARCELS
IN THE WASHINGTON PARK URBAN RENEWAL AREA
PROJECT NO. MASS. R-24

WHEREAS, the Boston Redevelopment Authority, hereinafter referred to as the "Authority" has entered into a contract for loan and grant with the Federal Government under Title I of the Housing Act of 1949, as amended which contract provides for financial assistance to the hereinafter identified project; and

WHEREAS, the Urban Renewal Plan for the Washington Park Urban Renewal Area, Project No. Mass. R-24, hereinafter referred to as the "Project Area," has been duly reviewed and approved in full compliance with local, state, and federal law; and

WHEREAS, the Authority is cognizant of the conditions that are imposed in the undertaking and carrying out of urban renewal projects with federal financial assistance under said Title I, including those prohibiting discrimination because of race, color, creed or national origin; and

WHEREAS, two (2) independent reuse appraisals of the value of the lots and fringe parcels listed hereon, for uses in accordance with the objectives and controls of the Urban Renewal Plan for the Project Area have been obtained;

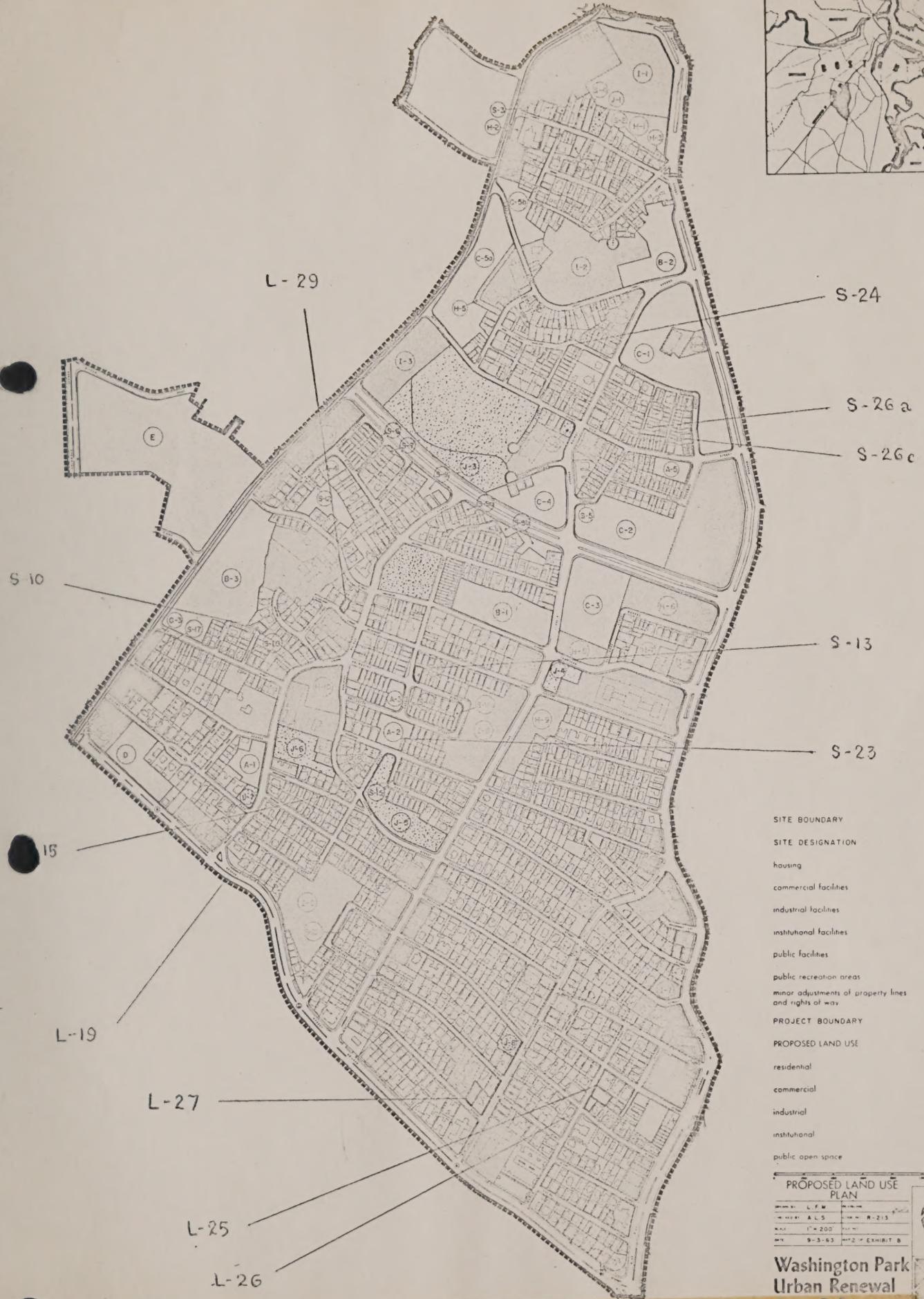
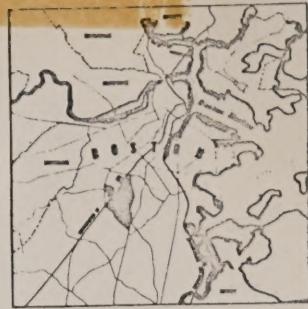
NOW, THEREFORE, BE IT RESOLVED BY THE BOSTON REDEVELOPMENT AUTHORITY:

THAT the following proposed prices are hereby approved and determined to be not less than the fair value of the parcels for use in accordance with the Urban Renewal Plan for the Project Area:

| <u>Disposition Parcels</u> | | <u>Minimum Disposition Price</u> |
|----------------------------|--|----------------------------------|
| L-19 | (13 Homestead Street) | \$ 500 |
| L-25 | (44 Maple Street) | 1700 |
| L-26 | (23 Schuyler Street) | 1000 |
| L-27 | (70 Brookledge Street) | 1500 |
| L-29 | (165 Harrishof Street) | 500 |
| S-10 | (cor. Fenner and Cardington St.) | 25 |
| S-13 | (cor. Holworthy(N) and Harold (E) St.) | 100 |
| S-15 | (cor. adjoining 123 Howland Street) | 100 |
| S-23 | (portion of 89 Waumbeck Street) | 75 |
| S-24 | (48 Rockland Street) | 125 |
| S-26a | (portion of 23 Rockland Avenue) | 150 |
| S-26c | (portion of 25 Rockland Avenue) | 25 |

Washington Park Urban Renewal Area R-24
Summary of Re-use Appraisal Data pertaining to:
Vacant Lots and Fringe Parcels

| <u>Parcel</u> | <u>Area in Sq. Ft.</u> | <u>1st Reuse Appraisal</u> | <u>2nd Reuse Appraisal</u> | <u>Recommended Disposition Price</u> |
|---------------|------------------------|----------------------------|----------------------------|--------------------------------------|
| L-19 | 4118 | \$ 750 | \$ 420 | \$ 500 |
| L-25 | 10434 | 1700 | 1715 | 1700 |
| L-26 | 5555 | 1100 | 980 | 1000 |
| L-27 | 9600 | 1500 | 1470 | 1500 |
| L-29 | 4293 | 650 | 420 | 500 |
| S-10 | 6600 | 25 | 150 | 100 |
| S-13 | 4600 | 50 | 150 | 100 |
| S-15 | 832 | 25 | 25 | 25 |
| S-23 | 1545 | 25 | 100 | 75 |
| S-24 | 2688 | 100 | 200 | 125 |
| S-26a | 3480 | 175 | 125 | 150 |
| S-26c | 540 | 35 | 20 | 25 |



| PROPOSED LAND USE PLAN | |
|---|-----------------|
| OWNER: L.F.W. | RECEIVED: R-215 |
| ARCHITECT: A.L.S. | DATE: 1-200 |
| ENG: C.R.C. | TIME: 9-3-63 |
| DESIGNER: M.D. | EXHIBIT: B |
| Washington Park Urban Renewal Area R-24 | |
| BOSTON REDEVELOPMENT AUTHORITY | |

